



C. M. Lavoie & Associates, Inc.

**Consulting Civil Engineering
Land Planning & Surveying**

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JUN - 6 2006

**Planning and Community
Development**

June 2, 2006

Mr. Jeff O'Brien
Village of Downers Grove
Department of Community Development
801 Burlington Avenue
Downers Grove, IL 60515

RE: "Nelson Meadow"
West Side of Carpenter Street
Downers Grove, Illinois

Dear Mr. Hall,

Pursuant to the review comments from the Village of Downers Grove dated May 16, 2006, the Final Engineering Plans for the Nelson Meadow have been revised. Please find enclosed the following documents for your review and approval.

- Seven (7) sets of Final Site Improvement Plans last revised May 23, 2006, prepared by C. M. Lavoie & Associates.
- Seven (7) copies of the Final Plat of Subdivision last revised May 23, 2006, prepared by C. M. Lavoie & Associates.

The enclosed plans address the review comments dated May 16, 2006. The comments are addressed as follows.

1. Revise the Plat of Subdivision (per the Subdivision Improvement Agreement) to include a thirty-two (32) foot front building line for all properties fronting on Brookbank Road and Carpenter Street. This restriction affects Lots 1, 2, 3, 9, 10, and 11.
 - *Revised the Plat of Subdivision includes a thirty-two (32) foot front building setback line for all properties fronting on Brookbank Road and Carpenter Street.*
2. Add the phrase "30 FT. BUILDING SETBACK" and corresponding line adjacent to Jefferson Avenue and Nelson Court on the Plat of Subdivision.
 - *Added the phrase "30 FT. BUILDING SETBACK" and the corresponding line adjacent to Jefferson Avenue and Nelson Court on the Plat of Subdivision.*
3. Revise General Note #30 to require a 2-year Maintenance Guarantee subsequent to Acceptance of Public Improvements (sheet 2).
 - *Revised General Note #30 on the General Notes (Sheet 2).*

4. Clarify in notes and details that no reinforcing steel shall be placed within a public sidewalk without specific permission of the Village inspector, including utility trench crossings (sheet 2-5).
 - *Added the following text to note #5 of the Testing and Final Acceptance portion of the Paving Improvements section of the General Notes (Sheet 2), "No reinforcing steel shall be placed within a public sidewalk without specific permission of the Village inspector, including utility trench crossings."*
5. Add to Storm Sewer Notes the requirement for television inspection, at the developer's cost, of all storm sewer before final acceptance (sheet 2).
 - *Added a "Televising" portion to the Storm Sewer System section of the General Notes (Sheet 2). "Televising" portion indicates that the act will precede final acceptance, be at the developer's expense, and follow the guidelines, where applicable, set forth by the "televising" portion of the Sanitary Sewer System section of the General Notes (Sheet 2).*
6. Revise storm structure frame and grate model numbers on the Utility Plan. Utilize Type 1A heavy duty (for road) and Type 8 (beehive) for turf and landscaped areas. Closed lids shall be stamped with "STORM" in the middle with a minimum of 1 pick hole (sheets 2 & 9).
 - *Referenced IDOT Type 1A heavy duty closed and stamped grate/lid for all storm manholes on the General Notes (sheet 2) and the Utility Sheet (sheet 9). Referenced on General Notes (sheet 2) that an IDOT Type 8 (beehive) grate shall be used in landscaped areas.*
7. Remove the requirement to place wire mesh anywhere within the Right-of-Way, including the drive approach and sidewalk (sheets 2-3).
 - *Removed references of wire mesh from Driveway Entrance Detail on Sheet 3.*
8. Add a detail for the repair of a trench located in an existing road.
 - *Added Street Opening/Trench Repair Detail to Sheet 4.*
9. Revise P.C.C. sidewalk detail and notes to include a compacted Ca-6 base minimum of 4" (sheet 3).
 - *Revised P.C.C. sidewalk detail and notes as requested on Sheet 3.*
10. Include a 6" thickness requirement for P.C.C. residential drive approaches and public walk passing thru the approach (sheet 3).
 - *Revised Driveway Entrance Detail and P.C.C. sidewalk detail as requested on Sheet 3.*
11. Show plan and detail for temporary chain link fence along the south property lines to protect the off-site walnut trees. Add this sheet to the Site Engineering plan set (sheets 7-9 & 12).
 - *Added Tree Preservation Plan to Site Engineering plan set as Sheet 14.*

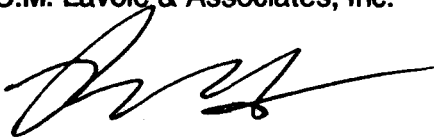
12. Add standard Village Erosion/Sedimentation Control notes. Include street sweeping schedule and address dust control (sheet 12).
 - *Added standard Village Erosion/Sedimentation Control notes to Sheet 12. Street sweeping and dust control included. Addition of notes necessitated the movement of hay bale detail to Sheet 5.*
13. Address potential street light / driveway conflict for Lot 4 on Jefferson Avenue (sheet 9).
 - *Moved street light L6 west of the proposed driveway location of Lot 4 (Sheet 9).*
14. Show proposed streetlight power wiring diagram, concrete base detail, power box location, control box location, detail for placement from curb, and photo cell locations (sheets 5 & 9).
 - *Added a note to sheet 9 stating that these items shall be coordinated with the Village.*
15. Provide profile for proposed water main under the detention basin.
 - *Added Detention Profile with underground watermain to Site Improvement plan set as Sheet 13.*
16. Connect existing water services on the south side of Jefferson to the new water main via sleeve couplings within the roadway. Eliminate B-box relocations and south parkway disturbance (sheet 9-10).
 - *Eliminated b-box relocations and south parkway disturbance. Added note to connect existing water services on the south side of Jefferson to the new water main via sleeve couplings within the roadway on Sheet 9.*
17. Replace all existing water main between the two proposed tees within the Brookbank / Jefferson intersection (sheets 9-10).
 - *Added callout to Sheet 9 indicating that the pipe between said tees should be replaced.*
18. Provide water vault and valve for proposed stub on Brookbank south of Jefferson (sheets 9-10).
 - *Added Valve Vault V7 to proposed stub on Brookbank south of Jefferson on Sheet 9.*
19. Revise retaining wall exhibit for Carpenter ROW so that the wall is above the walk rather than below the walk (note that color rendering shows an area for landscaping between the walk and the wall that is not shown on the cross-section).
 - *Revised the location of the sidewalk to the west. The wall must remain due to constraints on the slope of the sidewalk. The walk was moved to allow shrubs to be placed between the wall and the walk.*
20. Show street sign details and locations (sheets 5 & 7). The Village may elect to install the signs and invoice the developer.
 - *Added note to sheet 7 stating that the placement of street signs shall be coordinated with Village Traffic Engineer.*

21. Revise tree preservation plan sheet to be consistent with erosion control plan (i.e. show limits of chain link fence on both). Temporary fence posts installation must be coordinated with the Village Forester for possible inspection.

- *Callouts on Tree Preservation Plan (Sheet 14) and Erosion Control Plan (Sheet 13) pertaining to temporary chain link fence have been made to mirror each other. Added note about post installation to both callouts.*

Please review the enclosed information and contact our office regarding any questions or comments you may have.

Sincerely yours,
C.M. Lavoie & Associates, Inc.



Brad L. Hartjes, P.E.
Project Manager

Cc: Mr. Joel Andersen
President
Andersen Homes
5726 Carpenter Street
PO Box 845
Downers Grove, IL 60515

C.M. LAVOIE & ASSOCIATES, INC.
633 ROGERS STREET
DOWNERS GROVE, ILLINOIS 60515

STORMWATER FACILITIES
ENGINEER'S OPINION OF PROBABLE COST
FINAL ENGINEERING

PROJECT NAME : NELSON MEADOW

PROJECT MANAGER: BLH

LOCATION : WEST OF CARPENTER STREET
 DOWNERS GROVE, ILLINOIS

DATE: 6/2/2006

CLIENT NAME : JOEL ANDERSEN HOMES

PROJECT NUMBER: 04-239

PER PLANS LAST REVISED: 5/23/2006

ITEM NUMBER	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
EARTHWORK					
1	6" TOPSOIL STRIP AND STOCKPILE	10,000	SY	\$1.50	\$15,000.00
2	CLAY EXCAVATION	4,000	CY	\$9.00	\$36,000.00
3	TOPSOIL RESPREAD	3,333	SY	\$2.00	\$6,666.00
				TOTAL	\$57,666.00
STORM SEWER					
4	12" CMP CULVERT PIPE	75	LF	\$15.50	\$1,162.50
5	12" CMP END SECTIONS	6	EA	\$250.00	\$1,500.00
6	12" RCP STORM SEWER	823	LF	\$18.50	\$15,225.50
7	18" RCP STORM SEWER	156	LF	\$21.50	\$3,354.00
	15" RCP STORM SEWER	216	LF	\$23.50	\$5,076.00
8	24" RCP STORM SEWER	101	LF	\$26.50	\$2,676.50
9	12" RCP FES	3	EA	\$500.00	\$1,500.00
10	24" RCP FES	1	EA	\$800.00	\$800.00
11	MANHOLE TYPE A	3	EA	\$1,500.00	\$4,500.00
12	CATCH BASIN TYPE A	11	EA	\$1,750.00	\$19,250.00
13	CATCH BASIN TYPE C	2	EA	\$1,000.00	\$2,000.00
14	ADS STORM PURE INSERT	1	EA	\$750.00	\$750.00
15	RESTRICTOR STRUCTURE	1	EA	\$2,500.00	\$2,500.00
16	TRENCH BACKFILL	50	CY	\$20.00	\$1,000.00
				TOTAL	\$61,294.50
EROSION CONTROL					
17	RIP RAP	40	SY	\$50.00	\$2,000.00
18	POND LANDSCAPING (SOD)	3,333	SY	\$2.50	\$8,332.50
19	RETAINING WALL	900	SF	\$30.00	\$27,000.00
20	SILT FENCE	2,215	LF	\$1.50	\$3,322.50
21	HAY BALES WITH FILTER FABRIC	11	EA	\$15.00	\$165.00
22	STABILIZED ENTRANCE	1	LS	\$1,000.00	\$1,000.00
23	STREET SWEEPING/DUST CONTROL	1	LS	\$1,000.00	\$1,000.00
				TOTAL	\$42,820.00
				GRAND TOTAL	\$161,780.50
				5% CONTINGENCY	\$8,089.03
				TOTAL PROJECT COST	\$169,869.53