

John Schofield

1125 Jefferson Avenue

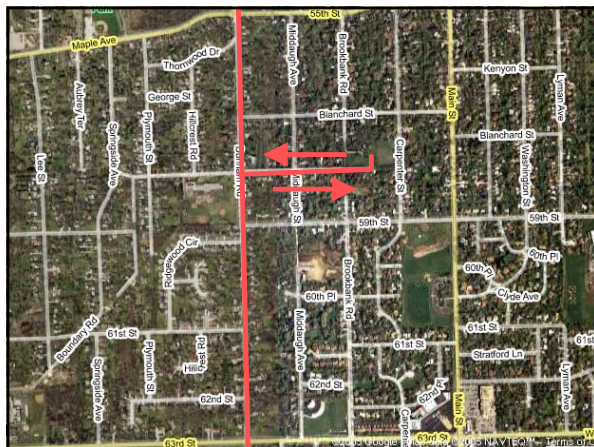
July 28, 2005



Goals

- Preserve the established character of the neighborhood
- Maintain safety of residents and properties
- Minimize disruption by construction
- Revise the current proposal to better balance the needs of the neighborhood, the Village common good, the developer, and the incoming new neighbors

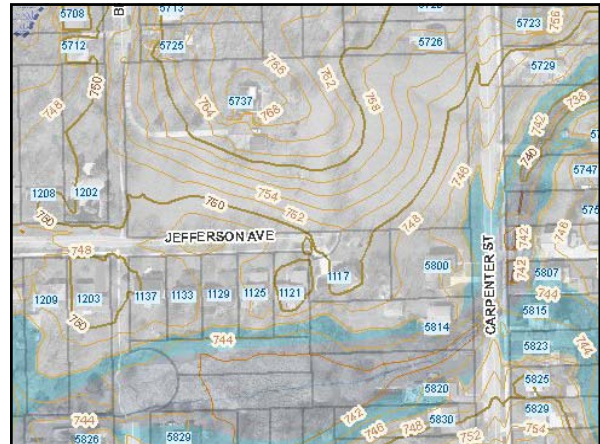
Construction entrance



Construction entrance

- Relocate construction entrance from Jefferson Avenue
- Provide circulation pattern for construction trucks (particularly earth-moving trucks), not in and out along the exact same route
- Avoid excessive queuing and double construction traffic impacting each homeowner
- Protect numerous schoolchildren walking along Jefferson Avenue to Hillcrest and O'Neil schools
- Protect numerous children playing in front yards and on sidewalks along Jefferson Avenue

Stormwater management



Stormwater management

- Prevent flooding and silting across Jefferson Avenue, both during construction and after
- Prevent any additional increase in the level of St. Joseph's Creek behind Jefferson Avenue homes during flooding conditions – watershed already under pressure from other upstream developments
- Define long-term responsibility for managing water detention area – safety and health issues

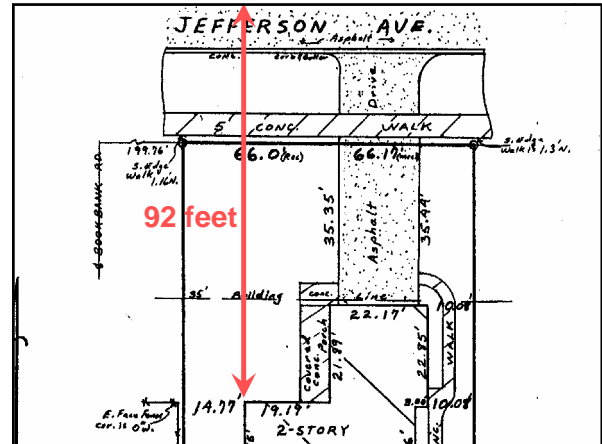
Jefferson Avenue infrastructure



Jefferson Avenue infrastructure

- Complete and maintain final full-width pavement before any other construction begins
- Maintain continuous access for residents over unobstructed pavement
- Minimize interruptions due to water main replacement
- Assure sufficient capacity for Jefferson Avenue sanitary sewer – already some backups
- Retain curved-out curb/pavement/sidewalk as on-street parking for 1117 and 1121 Jefferson Avenue

Jefferson Avenue buffer set-backs and treescape



Jefferson Avenue buffer set-backs and treescape

- At least a 35-foot Right of Way dedication
- At least a 35-foot Building Set-Back (by easement or other binding legal covenant)
- Additional buffer up to a total 90 feet from center of the street to front of homes because the new homes will be on higher elevation and also much larger and taller
- A double row of trees, one row north and one south of the new sidewalk (staggered placement to give the appearance of one tree every 20 feet, total of 13 trees)
- Optimal placement of utilities to accommodate maximum tree placement (plan the tree placement first)
- Side loading driveways off Brookbank and the new cul de sac respectively to accommodate maximum tree placement

Detention pond impact on existing trees and pedestrian path



Detention pond impact on existing trees and pedestrian path

- Move the current silt fence northward so that it is at least 21 feet from the property line
- Install proper tree fencing to protect the entire area between the new silt fence and property line to protect the Critical Root Zone from any incursion from east, north, or west
- Mark the fenced area prominently to identify it as a protected Critical Root Zone
- Revise the excavation and grading plans to keep this protected area undisturbed, moving the detention pond and its retaining wall at least 21 feet from the property line – or more if necessary to keep all construction traffic off the protected Critical Root Zone
- Use non-compacting techniques to construct sidewalk

Brookbank Road R.O.W. path and treescape



Brookbank Road R.O.W path and treescape

- Save all the still-existing trees along Brookbank Road extension south to Jefferson Avenue
- Save the natural walking path on the west side of the Brookbank Road R.O.W.
- Shift street to the east if necessary
- Require full 35-foot R.O.W. dedication or more if necessary to save trees and path

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Expectations

- Learn current status of the proposal
- Expand the scope of neighborhood input
- Assess the developer's receptivity to revising the plan
- Establish process for ongoing discussions
- Prepare for Plan Commission and Village Council hearings

Thank you!